



Town of Malabar  
Building Department  
2725 Malabar Road  
Malabar, FL 32950  
321-727-7764 – Telephone  
321-727-9997 – Fax  
[www.TownOfMalabar.org](http://www.TownOfMalabar.org)

# **Residential Permit Application Packet**

**TOWN OF MALABAR**

**SUPPLEMENTAL INFORMATION FOR RESIDENTIAL DETACHED ONE- AND TWO- FAMILY DWELLINGS AND MULTILE SINGLE FAMILY DWELLINGS (TOWNHOMES) NOT MORE THAN 3-STORIES IN HEIGHT ABOVE GRADE PLANE IN HEIGHT**

**FAILURE TO PROVIDE COMPLETE INFORMATION WILL DELAY ISSUANCE OF PERMIT.**

OWNER NAME: \_\_\_\_\_ PROPERTY ADDRESS: \_\_\_\_\_  
ZONING: \_\_\_\_\_ LOT AREA: \_\_\_\_\_ SQ. FT. LIVING AREA: \_\_\_\_\_ SQ. FT. GARAGE AREA: \_\_\_\_\_ SQ. FT.  
OTHER UNDER ROOF AREA: \_\_\_\_\_ SQ. FT. BUILDING AREA: \_\_\_\_\_ SQ. FT. FLOOD ZONE: \_\_\_\_\_  
FINISHED FLOOR ELEVATION: \_\_\_\_\_ (NVGD.) BUILDING HEIGHT: \_\_\_\_\_ NUMBER OF STORIES: \_\_\_\_\_  
SETBACKS: FRONT: \_\_\_\_\_, REAR: \_\_\_\_\_, L. SIDE: \_\_\_\_\_, R. SIDE: \_\_\_\_\_, CORNER(S): \_\_\_\_\_  
WETLAND DETERMINATION: \_\_\_\_\_

- \_\_\_ Approved road access to property? Yes \_\_\_ No \_\_\_ If no, what is required: BP \_\_\_\_\_
- \_\_\_ Road payback required? If yes, amount: \$ \_\_\_\_\_. Date paid \_\_\_\_\_ Receipt # \_\_\_\_\_
- \_\_\_ Dedication of additional right-of-way: Amount \_\_\_ ft Filed: \_\_\_\_\_ Recorded: \_\_\_\_\_
- \_\_\_ Culvert Required? Permit # \_\_\_\_\_
- \_\_\_ Land Clearing required? Permit # \_\_\_\_\_ Affidavit \_\_\_\_\_ USFWS # \_\_\_\_\_
- \_\_\_ Utility Service Form –Yellow Form (City of Palm Bay for water customers 321-952-3420)
- \_\_\_ Establish Mail Service with Postmaster
- \_\_\_ All contractors and sub-contractors must submit copies of state and local professional licenses, business tax certificates (occupational licenses) and insurance – gen liability and workers comp.
- \_\_\_ Owner/Builder must provide a signed and notarized disclosure statement (FS Chap. 489).
- \_\_\_ Applicants Responsibility form. Must be signed by property owner.
- \_\_\_ Proof of property ownership is required, (deed, tax bill or receipt, closing statement, or a printout from the property appraiser’s office).
- \_\_\_ Survey, signed and sealed by a Florida licensed land surveyor. All elevations must be N.G.V.D.. Show all rights-of-way and easements.(2 copies)
- \_\_\_ Notice of Commencement, [ ] filed, [ ] recorded.
- \_\_\_ Septic system permit and approved site plan from Brevard County Environmental Health.(321-633-2100)
- \_\_\_ Site Plan, (2 copies) showing location of all proposed and existing structures with full dimensions, show all trees indicating type and trunk caliper 4 ft. above ground. Note those trees to remain or remove. Include a proposed drainage plan protecting adjoining property from run off.
- \_\_\_ Building Plans, (2 sets) for one or two family dwellings and/or accessory structures drawn to scale. Design must comply with the Florida Building Code, Residential 2020 7<sup>th</sup> Edition. Please submit the plans **FOLDED**.
- \_\_\_ Window and door engineering (2 copies)
- \_\_\_ (2 copies) Engineer/Architect seal on structural plans and roof truss details, (submit truss details prior to placing). Design must comply with the Florida Building Code 2020 7<sup>th</sup> Edition.
- \_\_\_ Connector schedule (2 copies)
- \_\_\_ Florida Energy Code compliance forms, (2 copies).
- \_\_\_ Plumbing piping schematic designed in accordance with the 2020 7<sup>th</sup> Edition Florida Plumbing Code (2 copies)
- \_\_\_ Electric riser and wiring diagram designed in accordance with the National Electric Code 2018 Edition, 2018 Edition N.F.P.A. 70 (2 copies)
- \_\_\_ H.V.A.C. equipment and duct lay out designed in accordance with the 2010 Florida Mechanical Code and Florida Energy Code (2 copies)
- \_\_\_ Depart. Of Environmental Protection (FDEP) & National Pollution Elimination Discharge Systems (NPDES) Phase II compliance (silt fence) (407) 897-4100
- \_\_\_ Gas if equipped piping schematic designed in accordance with the Florida Gas Code 2020 Ed..
- \_\_\_ Receipt from Waste Management for CONSTRUCTION roll-off service.
- \_\_\_ Receipt from Brevard County for Impact Fees.
- \_\_\_ Receipt from Brevard County for Solid Waste
- \_\_\_ Solid Waste Impact Fee

**ASSOCIATED PERMITS:**

- \_\_\_ Pond and/or Fill, if other than building pad.
- \_\_\_ Temporary Trailer

**Town of Malabar**

2725 Malabar Road  
Malabar, FL 32950  
(321) 727-7764 Office (321) 727-9997 Fax

Permit # _____
Entered by: _____
Application Date: _____

**APPLICATION FOR BUILDING PERMIT**

Florida Building Code Edition in effect: 2020 – 7<sup>th</sup> Edition  
Florida Electrical Code Edition in effect: 2020 – 7<sup>th</sup> Edition  
Florida Fire Prevention Code Edition in effect: 2018 – 7<sup>th</sup> Edition

**PROPERTY INFORMATION**

TWP: \_\_\_\_\_ RNG: \_\_\_\_\_ SEC: \_\_\_\_\_ SUB #: \_\_\_\_\_ BLK/PAR: \_\_\_\_\_ LOT: \_\_\_\_\_

**Site Address:**

# Street City Zip

**Owner's Name:**

Last First Telephone Number

**Owner's Address:**

# Street City Zip

**Email:**

**CONTRACTOR'S INFORMATION (APPLICANT)**

**Qualifier Name:**

Last First License #

**Company Name:**

**Address:**

# Street City Zip

**Fax #:**

**Phone #:**

**E-Mail:**

**PROJECT INFORMATION**

Residential  Commercial Site Plan #: \_\_\_\_\_

**Describe Work To Be Done:**

Cost of Project: \$ \_\_\_\_\_

Proposed Sq. Ft.: \_\_\_\_\_

(air conditioned)

(total new construction)

# of housing units \_\_\_\_\_

# of new bedrooms \_\_\_\_\_

Master Plan #: \_\_\_\_\_

Sanitary Service:  Sewer Service  
 Septic

Potable Water Service:  Public or Private Water  
 Well

**SUBCONTRACTOR INFORMATION:**

	(NO STATE REGISTRATION #)	
Plumbing Contractor :	License #:	Phone:
Electrical Contractor:	License #:	Phone:
HVAC Contractor:	License #:	Phone:
Roofing Contractor:	License #:	Phone:
Specialty Contractor :	License #:	Phone:

**NOTICE OF COMMENCEMENT INFORMATION:** If the cost of the proposed work has a value of \$2,500 or more (\$7,500 for HVAC) a Notice of Commencement must be recorded with the Brevard County Clerk of Courts. A copy of the recorded Notice of Commencement must be submitted to Town of Malabar Building Department and the recorded Notice of Commencement must be posted on the job site prior to receiving an inspection.

Fee Simple Titleholder's Name...(if other than owner): \_\_\_\_\_  
Fee Simple Titleholder's Address...(if other than owner): \_\_\_\_\_  
Bonding Company: \_\_\_\_\_  
Bonding Company Address: \_\_\_\_\_  
Architect/Engineer's Name: \_\_\_\_\_  
Architect/Engineer Address: \_\_\_\_\_  
Mortgage Lender's Name: \_\_\_\_\_  
Mortgage Lender's Address: \_\_\_\_\_

***WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.***

\*\* NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county or that may be required from other governmental entities such as water management district, state agencies or federal agencies. It is the applicant's responsibility to secure those permits.

**APPLICANT'S AFFIDAVIT**

Application is hereby made to obtain a permit to do the work and installations as indicated. I acknowledge and accept responsibility for compliance with all applicable codes, regulations and ordinances as well as the payment of all legally constituted fees regarding this development application, including but not limited to ALL REVIEW FEES, PERMIT FEES, and IMPACT FEES AND RESERVATION FEES.

\_\_\_\_\_  
Signature: Contractor

\_\_\_\_\_  
Signature: Owner

Date: \_\_\_\_\_

Date: \_\_\_\_\_

State of Florida  
County of Brevard

State of Florida  
County of Brevard

Subscribed and sworn to before me this \_\_\_\_\_  
day of \_\_\_\_\_, \_\_\_\_\_,  
personally appeared \_\_\_\_\_  
who is personally known to me or produced  
\_\_\_\_\_ as  
identification, and who did/did not take an oath.

Subscribed and sworn to before me this \_\_\_\_\_  
day of \_\_\_\_\_, \_\_\_\_\_,  
personally appeared \_\_\_\_\_  
who is personally known to me or produced  
\_\_\_\_\_ as  
identification, and who did/did not take an oath.

\_\_\_\_\_  
Notary Public Signature

\_\_\_\_\_  
Notary Public Signature

**FINAL INSPECTION IS REQUIRED Failure to obtain a final inspection may result in a penalty.**

Portion of Town of Malabar Code  
Chapter 13 Sec 13-39

**Sec. 13-39. Precondition to issuance of building permit—Dedication of sufficient right-of-way.**

Except as provided for in section 13-39.1, as a precondition for the issuance of any building permit for a permitted structure on property that abuts an unimproved or unaccepted right-of-way within the Town of Malabar, Brevard County, Florida, the owner of the property for which such permit is requested must agree to dedicate that portion of his property which abuts said right-of-way or unaccepted road such that the town can achieve its goal of acquiring rights-of-way as required by the Town Land Development Code and Comprehensive Plan.

(Ord. No. 01-01, § 1-4, 2-5-01; Ord. No. 07-11, § 2, 7-16-07; Ord. No. 09-29, § 1, 12-7-09)

Record & Return To:  
Town of Malabar  
2725 Malabar Road  
Malabar, Florida 32950

**RIGHT-OF-WAY DEDICATION**

THIS INDENTURE made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ between \_\_\_\_\_ property owner, whose address is \_\_\_\_\_, party of the first part, hereinafter referred to as "Grantor," and **The Town of Malabar**, a municipal corporation organized under the laws of the State of Florida and situated in Brevard County, Florida, 2725 Malabar Road, Malabar, FL 32950, party of the second part, hereinafter referred to as "Grantee,"

**WITNESSETH:**

That the Grantor, for and in consideration of other valuable consideration, receipt of which is hereby acknowledged, does hereby grant, bargain, dedicate and convey unto the party of the second part, its successors and assigns, the following described land, lying and being in the Town of Malabar, County of Brevard, State of Florida, to-wit:

**A strip of land five (5) feet in width along the \_\_\_\_\_ edge And five (5) feet in width along the \_\_\_\_\_ edge of Township Range Section Parcel 0 ; also known as :**

for public road right-of-way purposes, drainage purposes, utility purposes and any other public purpose.

The Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

**IN WITNESS WHEREOF**, the Grantor has executed this instrument on the day and year first above written.

Signed, sealed and delivered in the presence of:

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Grantor: Signature

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Grantor: Printed Name

**STATE OF \_\_\_\_\_**  
**COUNTY OF \_\_\_\_\_**

BEFORE ME, the undersigned authority, personally appeared and is personally known to me, or who produced \_\_\_\_\_ as identification, and who executed the foregoing instrument, and acknowledged to and before me that they executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC  
State of Florida

My Commission Expires:

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Grantor: Signature

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Grantor: Printed Name

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, the undersigned authority, personally appeared and is personally known to me, or who produced \_\_\_\_\_ as identification, and who executed the foregoing instrument, and acknowledged to and before me that they executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
NOTARY PUBLIC  
State of Florida

My Commission Expires:

**CERTIFICATE OF ACCEPTANCE**

The undersigned, TOWN OF MALABAR, BREVARD COUNTY, FLORIDA, the above-named Grantee, hereby accepts this Right-of-Way Dedication, dated the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, under the terms and conditions set forth herein.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

TOWN OF MALABAR, FLORIDA

By: \_\_\_\_\_  
Mayor Carl A. Beatty

\_\_\_\_\_  
Town Clerk/Treasurer

# TOWN OF MALABAR

## NOTICE TO BUILDING PERMIT APPLICANTS

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**Ref:** Mandatory Waste Management Service

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Prior to issuance of a building permit, all building contractors and persons acting in the capacity of a building contractor, engaged in building, remodeling or land clearing operations, shall certify in writing that they shall make the necessary arrangements to provide for roll off (greater than 15-yards) services for cleanup and legal disposal of all trash and refuse with Waste Management. Their number is 321-723-4455.

Prior to the issuance of a certificate of occupancy for any residential, commercial or industrial building, evidence that subscription service has been established with Waste Management must be provided to the Building Department.





2725 Malabar Road  
Malabar, Florida 32950-4427  
321-727-7764 – Telephone  
321-722-2234 – FAX

**LOCATION AGREEMENT**  
**TEMPORARY LOCATION OF MOBILE HOME, CAMPER, ETC.**

A \_\_\_\_\_ may be placed on my property located at \_\_\_\_\_ in Malabar, Florida, on a temporary basis, while my home is being built on that property. I agree that the mobile home shall be removed immediately after completion of construction, approximately six months from this date. I also agree to start action on construction of my residence on the property as soon as possible, and be able to show completion or major progress at the end of the six-month period.

In the event the construction is not completed by that date, I will apply to the Town of Malabar for an extension of time. If no progress whatsoever is shown, the \_\_\_\_\_ will be removed immediately, and I will forfeit the \$500.00 security bond.

- Proof of Ownership
- Survey or Plot Plan showing location
- Description; means of septic hook-up, water & power
- Reason for mobile home on property
- Building Permit No. # \_\_\_\_\_
- Road Permit Application # \_\_\_\_\_
- Road Bond: \_\_\_\_\_

**Signature:**

\_\_\_\_\_

**Date:** \_\_\_\_\_

**Date Accepted:** \_\_\_\_\_

**Town Clerk:** \_\_\_\_\_

**Signature:**

\_\_\_\_\_

**Date:** \_\_\_\_\_

## **DRAINAGE PLAN WITH FLOOR ELEVATIONS**

Malabar Code Sec. 6-4.10 Modification of codes; permits required; applications; plans.

All site plans will show a drainage plan with floor elevations at **eighteen (18) inches** minimum above crown of the street at the highest point adjacent to the lot for one-and two-family residential buildings. The Town Engineer shall approve drainage plans for all other sites. All plans and site plans must be approved by the Building Official before the issuance of any permit and before work commences;

### **REPLACED BY TOWN OF MALABAR ORDINANCE 2014-02**

#### **ARTICLE 1 ADMINISTRATION**

##### **SUBPART 1. GENERAL**

3. (b) Specify that the base flood elevation is **two (2) feet** above the highest adjacent grade at the location of the development, provided there is no evidence indicating flood depths have been or may be greater than two (2) feet.

# Article V

## Section 1-5.23.- Construction of driveways, swales, and other improvements affecting drainage.

The design of all drainage provisions to new or existing driveways or other elements of the circulation system potentially impacting drainage shall be approved by the Town Engineer prior to commencement of construction or excavation activity. Review by the Town Engineer is necessary in order to assure that: (1) new driveways and other elements of the circulation system provide adequate drainage, swales, ditches or similar storm water channels and; (2) improvements to existing driveways or other elements of the circulation system are designed to protect and/or enhance existing drainageways, or needed drainageways, as deemed appropriate by the Town Engineer. Driveways are encouraged to be paved and culverts shall be designed to meet accepted engineering standards. The Town Engineer shall administer the provisions of this section based on generally accepted engineering principles and practices.

**Cross reference—** Buildings and building regulations, ch. 6; flood damage prevention, ch. 9.

# Article VII



## Section 1-7.1. - Applicability and filing procedure.

Site plan approval, as provided for herein shall be required for each of the following:

1. All permitted uses, except single family homes or single family home accessory structures. However, all uses and structures shall comply with surfacewater management criteria of Article VIII.
  2. All conditional uses.
  3. Any use or change in use resulting in one thousand (1,000) square feet of impervious surface area on the entire site.
  4. The provisions of Article VIII: Surface Water Management shall apply to all site plans as if the same were incorporated in this Article.
  5. Any development including single family residences which will involve any clearing, grading or other form of disturbing the land by the movement of earth provided that any one of the following descriptions applies to said movement.
    - (a) Excavation, fill or any combination thereof which will exceed five hundred (500) cubic yards.
    - (b) Fill which will exceed three (3) feet in vertical depth at its deepest point as measured from the natural ground surface.
    - (c) Excavation which will exceed four (4) feet in vertical depth at its deepest point as measured from the natural ground surface.
    - (d) Excavation, fill or any combination thereof which will exceed an area of one thousand (1,000) square feet.
    - (e) Plant and/or tree cover is to be removed from an area exceeding one thousand (1,000) square feet on any parcel of land.
    - (f) Whenever any amount of excavation or fill is proposed within one hundred (100) feet of a stream, stream channel or body of water a soil erosion and sedimentation control plan shall be provided.
- A. *General Site Plan Review Procedure.* In all cases requiring site plan review, no structure or parking area, or part thereof, shall be erected or used, or land or water used, or any change of use consummated, nor shall any building permit be issued therefor, unless a site plan for such structure or use shall have been reviewed by the Town Planning and Zoning Board.
1. *Filing.* Before such site plan shall be approved, an application for such approval shall be filed with the Town Clerk then directed to the Building Official and/or the Town Engineer or other designated officials for their recommendation. Town Engineer is defined as that Town employee, or outside Florida registered engineer contracted by the Town, responsible for performing the duties specified herein as the Town Engineer.
  2. *Application, Fee and Disclosure of Ownership.* Such application shall be in a form substantially in accordance with the form prescribed by the Town Clerk, copies of which may be obtained from the Town Clerk's office. A written power of attorney authorizing a person other than the owner(s) to sign such application must be attached to said application.

All applications shall include a verified statement showing each and every individual person having a legal and/or equitable ownership interest in the property upon which the application for site plan approval is sought, except publicly held corporations, in which case the name and address of the corporation and principal executive officers will be sufficient.

The fee schedule for site plan review shall be as determined by resolution of the Town Council.
  3. *Review by Town Staff and Planning and Zoning Board.* The application shall be forwarded to the Building Official or Town Engineer and such other staff as may be pertinent. The Town shall

proceed to make appropriate studies and/or reviews required to make an appropriate evaluation. The application with evaluative comment shall then be forwarded to the Town Planning and Zoning Board for their consideration and action. The site plan review process shall be carried out in accordance with procedures established by the Planning and Zoning Board, so as to prevent inconvenience and delay to the project.

After reviewing a site plan and staff recommendations, the Planning and Zoning Board shall recommend approval or disapproval. The Planning and Zoning Board shall provide written comments documenting any conditions of approval. If site plan is recommended for disapproval, the Planning and Zoning Board shall specify in writing the reasons for recommending denial. All recommendations of the Planning Board together with the written record shall be forwarded to the Town Council for final action.

4. *Action by the Town Council.* The Town Council shall consider the recommendations of staff and the Planning and Zoning Board and approve with or without conditions, or disapprove the site plan. The Town Council may attach to its approval of a site plan any reasonable conditions, limitations or requirements which are found necessary, in its judgement, to effectuate the purpose of this Section and carry out the spirit and purpose of the Zoning Ordinance.

Any condition shall be made a written record and affixed to the site plan as approved. If the Town Council disapproves a site plan, the reasons shall be stated in writing and the appeal shall be to the Court of appropriate jurisdiction.

**B. *Review of Minor Site Plans.***

1. *Applicability.* For the purposes of this section, minor site plans shall include the following:
  - a. Residential projects comprised of a single building, having less than five (5) dwelling units, or:
  - b. Projects containing less than one thousand (1,000) square feet of new impervious surface area.
  - c. Single family homes and accessory buildings or ponds which require site plan approval pursuant to section 1-7.1.5.
2. *Submission Requirements for Minor Site Plans.* Minor site plans shall only include that information required in Sections 1-7.2, 1-7.3, which is determined to be applicable to the proposed minor site plan by the Building Official and Town Engineer.
3. *Minor Site Plan Review Procedures.* All minor site plan applications shall be reviewed by the Town Engineer and Building Official and approved by the Building Official, the Planning and Zoning Board and the Chairperson of the Town Council. However, single family homes, accessory buildings or ponds may be approved by the Building Official. Appeals of such decisions shall be conducted pursuant to section 1-7.4

**C. *Minor Modifications of Site Plans.*** Minor modifications to approved site plans shall include changes such as the:

1. Addition of awnings, canopies or other ornamental structures; redesign and different location of pools, parking spaces, drives and driveways; or modifications in stairs or elevations of decks, porches, terraces and fencing;
2. Addition of parking spaces not to exceed twenty-five (25) percent, including fractions thereof, of the total number of existing parking spaces or five (5) spaces, whichever is the greater amount;
3. Attached or detached additions to buildings which do not increase the floor area in excess of five hundred (500) square feet;
4. Installation of utility system improvements including buildings not exceeding two hundred (200) square feet.

5. Aside from minor modifications to site plans as herein defined, any change in use of buildings, structures, land or water, or institutions of new uses, or alteration or major improvements to existing structures, or erection of new buildings or structures shall require a new site plan submittal in accordance with all procedures and provisions of this Code.

Such changes to approved site plans shall be reviewed by the Building Official and or other designated Town consultants/Staff. If the Building Official and Town Engineer have no objection to the request based on its compliance with the Code, such minor modifications shall be submitted for approval by the Town Council Chairperson after review by the Planning and Zoning Board. The Town Council Chairperson shall report each change so approved to the Town Council for the record at the next scheduled meeting.

- D. *Conformance with Zoning Regulations Required.* Any such building, structure or use shall be erected, altered, installed and maintained in full conformity with the provisions of the zoning ordinance and the approved site plan.

(Ord. No. 91-1, 3-19-91)

# Article VII



## Section 1-7.3. - Information to be included in site plan.

A site plan, for the purposes of this Section, shall include, but not necessarily be limited to, the following requirements:

1. Site plan with lot configuration, finished ground floor elevations, contours and designating number of dwelling units, square footage of site, building coverage, square footage of paved areas and open area, and setbacks to scale indicating compliance with regulations.
2. A scaled drawing of the side, front and rear facades of the building or structure, including roof pitch, fenestration including treatment of roof line, windows, and doors as well as a description of materials to be used.
3. Generalized floor plan indicating uses and square footage of each proposed use within each building or structure, building exterior construction material and color, and building height.
4. Location and character of all outside facilities for waste disposal; storage areas; or display.
5. Location and dimensions of all curb cuts, driveways, dedicated cross-easements including their design, location, alignment, dimensions, and specifications; details of off-street parking and loading areas, and vehicular surfaces available for maneuvering, including surface materials, number of employees and number and type of vehicles owned by the establishment. Any combined off-street parking facilities shall be submitted with an agreement specifying the nature of the arrangement, its anticipated duration, and signatures of all concerned property owners.
6. Location of all pedestrian walks, malls, yards and open spaces.
7. Location, size, character, color and copy, height and design of all signs.
8. Location and character of landscaped areas and recreation areas.
9. Location, design and character of all public, semi-public, or private utilities such as water and wastewater disposal facilities, underground or overhead electric lines, gas transmission lines, or other similar facilities or services.
10. Location, height and general character of perimeter or ornamental walls, fences, landscaping, including berms and other required screening devices and any other plans for protecting adjacent property owners.
11. Surface water drainage facilities plan showing existing and proposed grading, drainage patterns and earthwork computations, certified by an engineer or architect registered in the State of Florida.
12. Location of existing easements and rights-of-way.
13. Land survey with complete legal description prepared and certified by a registered surveyor. All architecture or engineering designs must be prepared by a professional architect or engineer registered in the State of Florida pursuant to Florida Statutes 467 and 471 as exists or hereafter amended and which require an appropriate seal on the subject plan prior to issuance of a building permit.
14. Verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.
15. The applicant for site plan review may, at his option, submit a preliminary site plan sketch indicating a general idea of how it is proposed to develop the parcel. Upon tentative approval of a sketch, the applicant can then proceed to have a detailed site plan prepared in accordance with the requirements in this section.

(Ord. No. 91-1, 3-19-91)



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# **Culvert / Right-of-Way Permit Application**



TOWN OF MALABAR

APPLICATION FOR CULVERT/RIGHT-OF-WAY PERMIT

Culverts, if required, must be installed prior to any other permits being issued. Temporary culverts must be approved by the Town Engineer.

DATE \_\_\_\_\_

APPLICANT NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

APPLICANT ADDRESS \_\_\_\_\_

CONTRACTOR NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

CONTRACTOR ADDRESS \_\_\_\_\_

LOCATION OF WORK (Street Address if known) \_\_\_\_\_

Sec: \_\_\_\_\_ Twp: \_\_\_\_\_ Rng: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Sub/Parcel: \_\_\_\_\_

DESCRIPTION OF WORK: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Note:

1. Signed/sealed survey to be submitted showing elevations of existing culverts adjacent to property.
2. Please carefully review Code Section 1-8.13 -19 and Ordinance 2009-21 and Memo 07-TA-061, which have been provided with this application. It clearly states the application requirements as well as the terms and conditions of the issuance of a permit.
3. Waste Management has exclusive rights to provide roll-off trash service during construction.
4. All work is subject to final inspection by the Town Engineer: \_\_\_\_\_
5. Permit to be displayed on the job site.
6. FDOT Traffic Control is required.
7. Applicant is responsible for obtaining permits from other jurisdictional agencies.

A signature of the contractor shall be construed as making the contractor personally liable unless the contractor attaches a written proof of authorization to act on behalf of the applicant.

\_\_\_\_\_  
Applicant / Contractor

OFFICE USE ONLY:

Complies with Thoroughfare Plan - Yes [ ] No [ ]  
Drainage approved - Yes [ ] No [ ]

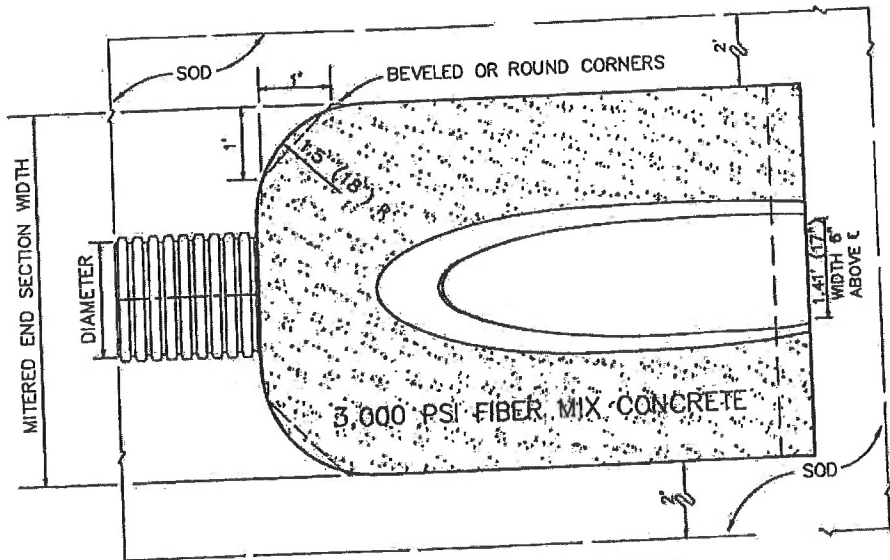
Permit Fee, if applicable \$ \_\_\_\_\_

Remarks \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

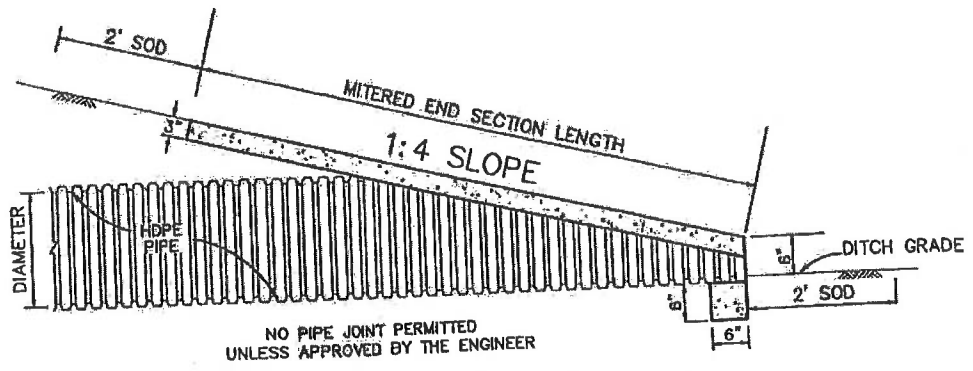
\_\_\_\_\_  
Issuing Officer

\_\_\_\_\_  
ROW Permit #

\_\_\_\_\_  
Date Issued



PLAN VIEW—SINGLE PIPE



SECTION THROUGH PIPE CENTERLINE

MITERED END SECTION DIMENSIONS AND QUANTITIES				
DIAMETER	WIDTH	LENGTH	CONCRETE	SOD
15"	4.33' (52")	5.59' (67")	0.64 CU.YD.	8 SQ.YD.
18"	4.58' (55")	6.62' (80")	0.69 CU.YD.	9 SQ.YD.
24"	5.08' (61")	8.68' (104")	0.83 CU.YD.	10 SQ.YD.
30"	5.58' (67")	10.75' (129")	0.96 CU.YD.	11 SQ.YD.
36"	6.08' (73")	12.81' (154")	1.08 CU.YD.	12 SQ.YD.

### Town of Malabar

2725 Malabar Road ♦ Malabar, FL 32950-4427 (321) 727-7764  
 dsherear@townofmalabar.org

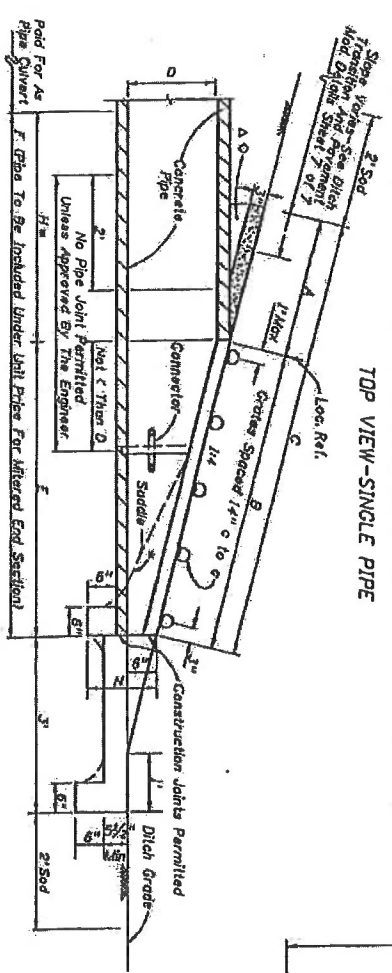
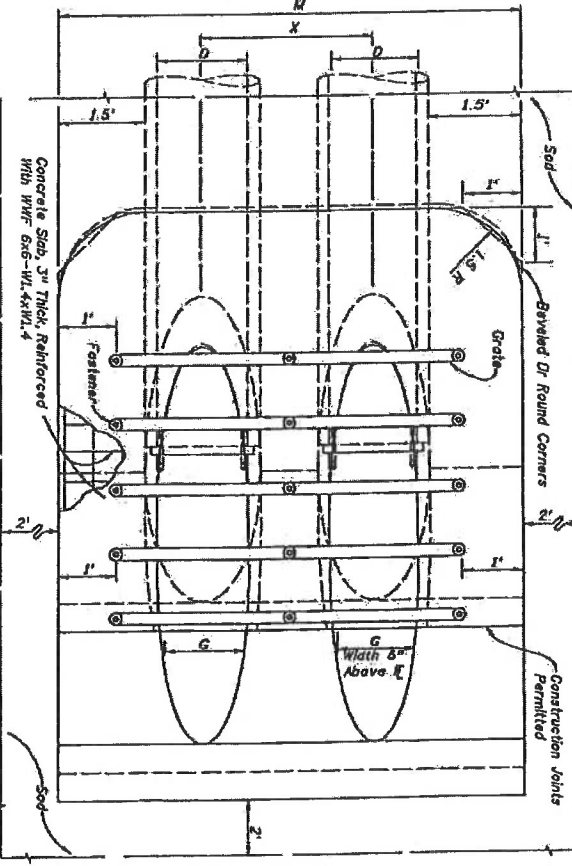
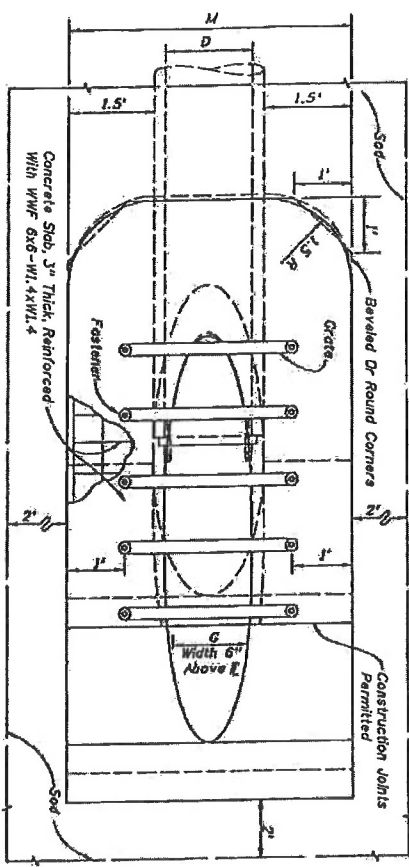
## DRIVEWAY CULVERT MITERED END SECTION DIMENSIONS

DIMENSIONS & QUANTITIES

D	X	A	B	C	E	F	G	H	K				GRATE SIZES				CONCRETE Cu. Yds. J				STANDING Sq. Yds. J			
									Single Pipe	Double Pipe	Tri-Pipe	Good Pipe	Standard Weight Pipe	Extra Strong Pipe	Single Pipe	Double Pipe	Tri-Pipe	Quad Pipe	Single Pipe	Double Pipe	Tri-Pipe	Quad Pipe		
15"	21.7"	2.27'	4.09'	6.56'	4.03'	8'	1.22'	4.0'	4.63'	7.21'	9.79'	12.37'	13.43'	1.18'	0.76	1.16	1.54	1.94	8'	10	11	12		
18"	27.10"	2.39'	5.12'	7.48'	3.03'	9'	1.41'	4.0'	4.92'	7.73'	10.58'	13.43'	1.25'	0.85	1.26	1.71	2.17	2.75	9	10	11	12		
24"	37.5"	2.53'	7.18'	9.71'	7.03'	11'	1.73'	4.0'	5.96'	8.92'	12.53'	15.79'	1.35'	1.02	1.58	2.15	2.75	3.50	12	14	15	17		
30"	47.3"	2.70'	9.25'	11.95'	9.03'	13'	2.00'	4.0'	8.08'	10.93'	14.58'	18.83'	1.29'	1.13	1.80	2.74	3.50	4.25	15	17	18	20		
36"	57.1"	2.87'	11.31'	14.8'	11.03'	15'	2.24'	4.0'	6.67'	11.75'	16.83'	21.92'	1.33'	1.18	2.00	3.03	4.25	5.25	17	19	21	24		
42"	67.0"	3.05'	13.37'	18.42'	13.03'	17'	2.45'	4.0'	7.25'	13.35'	19.25'	25.29'	1.38'	1.24	2.15	3.25	4.70	6.14	19	21	23	27		
48"	77.0"	3.22'	15.43'	20.88'	15.03'	19'	2.65'	4.0'	7.85'	14.58'	21.33'	28.08'	1.42'	1.30	2.30	3.78	5.54	7.28	21	23	25	29		
54"	87.0"	3.39'	17.49'	23.33'	17.03'	21'	2.85'	4.0'	8.45'	15.81'	23.33'	31.42'	1.46'	1.36	2.40	4.36	6.43	8.50	23	25	27	31		
60"	97.0"	3.56'	19.55'	25.78'	19.03'	23'	3.00'	4.0'	9.00'	17.04'	25.00'	34.50'	1.50'	1.40	2.50	4.95	7.28	9.50	25	27	29	33		

Δ 6.42' Δ 6.25' Dimensions permitted to allow use of 8" standard pipe lengths.  
 Δ 10.40' Δ 10.10' Dimensions permitted to allow use of 12" standard pipe lengths.  
 Δ Concrete slab shall be deepened to form bridge across crown of pipe. See section below.

■ Values shown for estimating pipe quantities and are for information only.



SECTION

SINGLE AND MULTIPLE ROUND CONCRETE PIPE

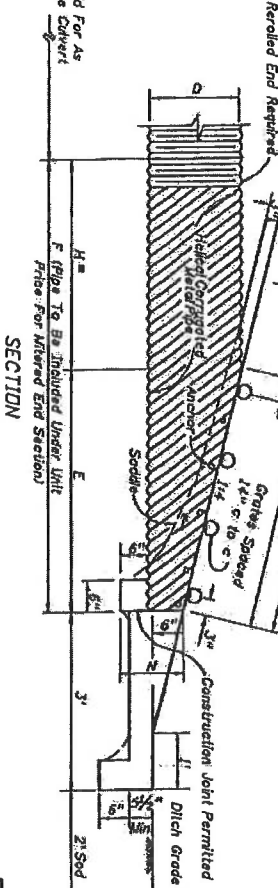
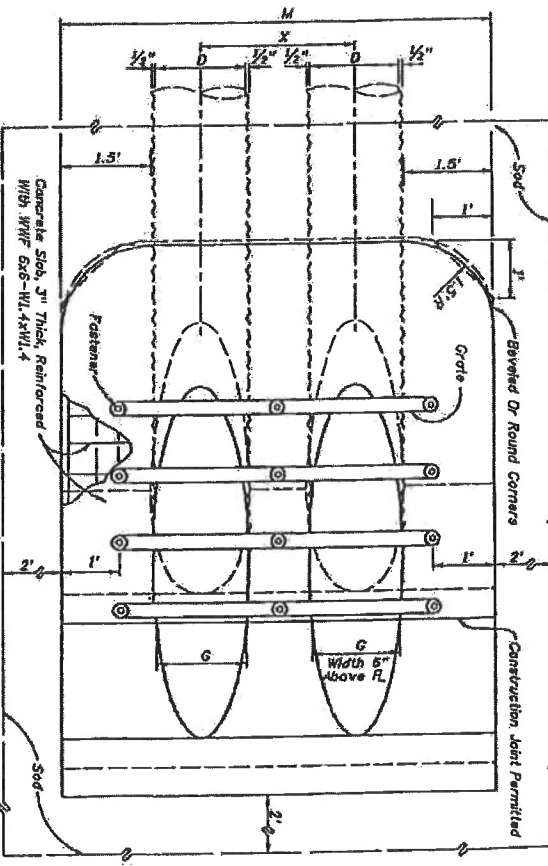
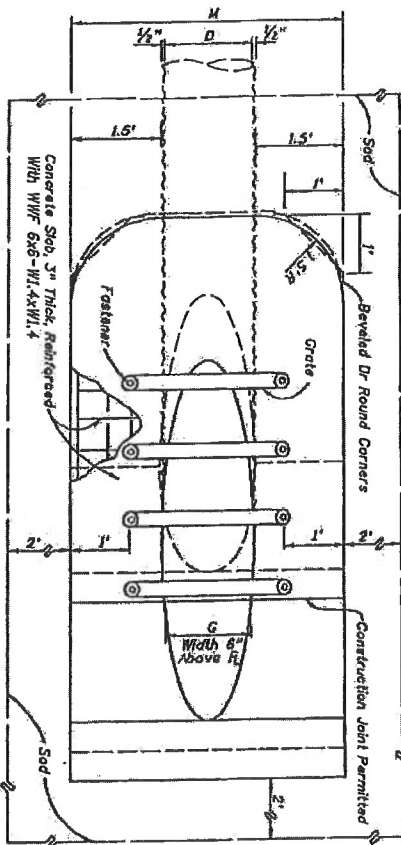
SIDE DRAIN MITERED END SECTION

2010 FDOT Design Standards

Sheet No. 1 of 7  
 10492 No. 213



D	X	A	B	C	E	F	G	H	GRADE SIZES				CONCRETE (Cu. Yds.)				SODDING (Sq. Yds.)				REMARKS
									Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	
8"	2'-0"	2.5'	0.72'	1.22'	0.7'	4.0'	0.58'	3.3'	1.75'	7.74'	8.79'	1.04'	0.52	0.80	1.22	1.54	7	8	8	9	These sizes are restricted to inlet and outlet treatment for water management systems or similar applications.  Values shown for estimating pipe quantities and are for information only.
10"	2'-4"	2.5'	1.34'	1.84'	1.3'	5.0'	0.81'	3.7'	3.92'	6.08'	8.23'	1.04'	0.64	0.99	1.34	1.70	7	8	9	10	
12"	2'-4"	2.5'	2.06'	2.56'	2.0'	6.0'	1.00'	4.0'	4.08'	6.42'	8.73'	1.04'	0.68	1.09	1.48	1.85	7	8	10	11	
15"	2'-7"	2.5'	3.08'	3.58'	3.0'	7.0'	1.23'	4.0'	4.33'	6.92'	9.40'	1.04'	0.84	1.00	1.35	1.71	8	9	10	11	
18"	2'-10"	2.5'	4.12'	4.62'	4.0'	8.0'	1.41'	4.0'	4.58'	7.42'	10.28'	1.04'	0.88	1.08	1.49	1.89	9	10	11	12	
24"	3'-5"	2.5'	6.18'	6.68'	6.0'	10.0'	1.73'	4.0'	5.08'	8.50'	11.52'	1.04'	0.83	1.34	1.82	2.34	9	10	13	14	
30"	4'-3"	2.5'	8.25'	10.75'	8.0'	12.0'	2.00'	4.0'	5.58'	9.83'	14.08'	1.04'	0.86	1.53	2.32	2.80	11	13	15	17	
36"	5'-1"	2.5'	10.31'	14.81'	10.0'	14.0'	2.24'	4.0'	6.08'	11.17'	16.25'	1.04'	1.08	1.92	2.77	3.62	12	14	17	19	
42"	6'-0"	2.5'	12.37'	14.87'	12.0'	16.0'	2.45'	4.0'	6.58'	12.59'	18.58'	1.04'	1.20	2.26	3.14	4.01	13	16	18	21	
48"	6'-9"	2.5'	14.43'	16.83'	14.0'	18.0'	2.65'	4.0'	7.08'	13.83'	20.58'	1.04'	1.50	3.11	4.52	6.12	14	17	20	23	
54"	7'-8"	2.5'	16.49'	18.99'	16.0'	20.0'	2.83'	4.0'	7.58'	15.25'	22.82'	1.04'	1.76	3.56	5.34	7.14	15	19	22	26	
60"	8'-8"	2.5'	18.55'	21.05'	18.0'	22.0'	3.00'	4.0'	8.08'	16.58'	25.08'	1.04'	1.94	4.03	6.12	8.20	17	20	24	28	



NOTE: See Sheets 6 and 7 for details and general notes.

3 Slope:  
 1/2" for Pipe 18" and Smaller  
 1/2" for Pipe 24" and Larger

2010 FOOT Design Standards

**SINGLE AND MULTIPLE ROUND CORRUGATED METAL PIPE**

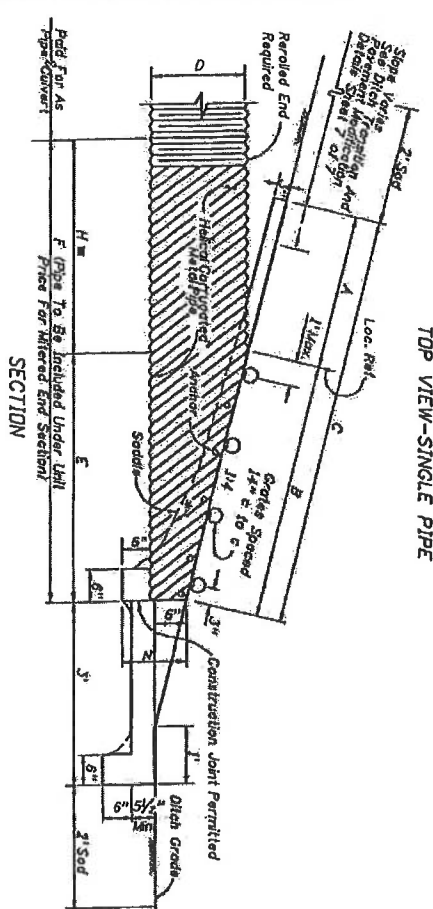
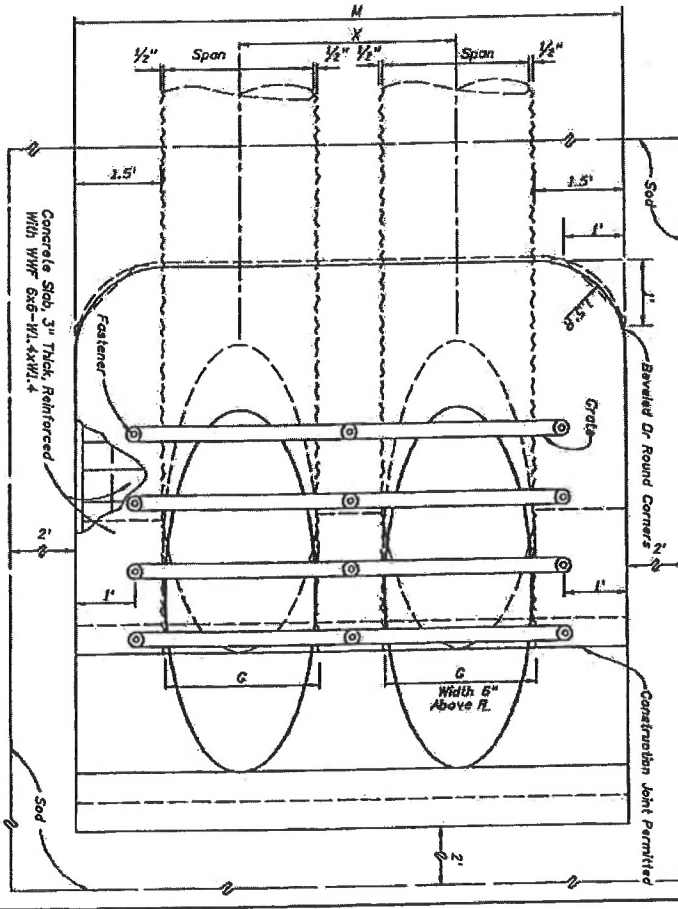
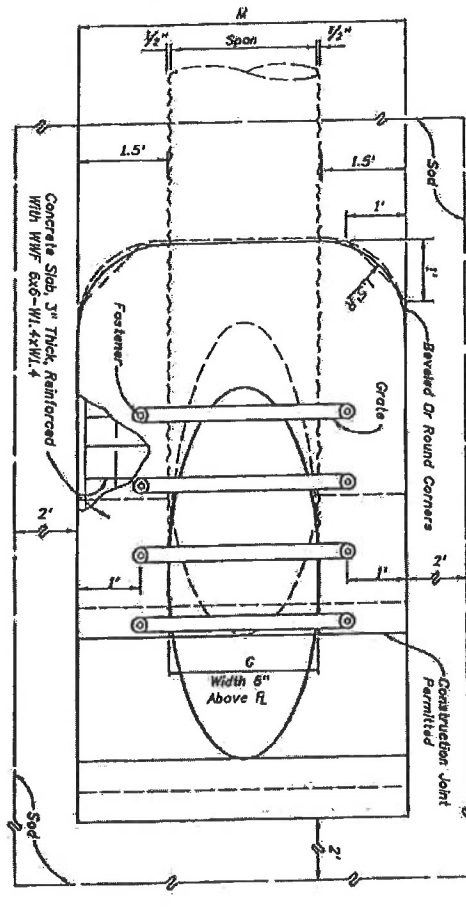
**SIDE DRAIN MITERED END SECTION**

Let. Revision: 02  
 Sheet No.: 2 of 7  
 Index No.: 273

DIMENSIONS & QUANTITIES

1974 ASHTO	Span	Rise	X	A	B	C	E	F	G	H	GRADE SIZES				CONCRETE (Tot. Yds.)				STODDING (Sq. Yds.)				
											Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Standard Height	Extra Strong	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe
12"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
18"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
24"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
30"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
36"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
42"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
48"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
54"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
60"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
66"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'
72"	15'	2'-6"	3.5'	2.41'	4.91'	3.31'	7'	1.18'	4.27'	4.42'	7.02'	9.50'	12.00'	1.04'		0.62'	0.95'	1.27'	1.60'	8'	9'	10'	11'

Values shown for estimating pipe quantities and are for information only.



**SINGLE AND MULTIPLE CORRUGATED METAL PIPE-ARCH**

2010 PDOT Design Standards

Sheet No. 3 of 7

DATE 2/13

NOTE: See Sheets 6 and 7 for details and general notes.

\*Slope: To Spoon Line For Pipe Arch 28"x20" And Smaller  
1:2 For Pipe Arch 35"x24" And Larger

2010 PDOT Design Standards

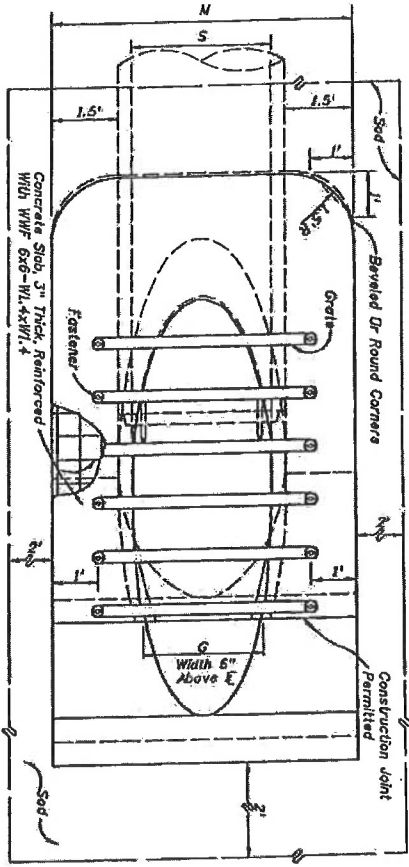
Sheet No. 3 of 7

DATE 2/13

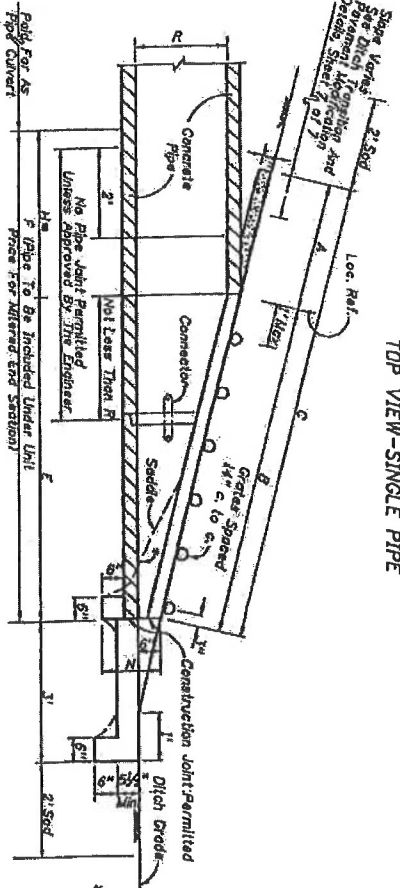
DIMENSIONS & QUANTITIES

Rise	Span	X	A	B	C	E	F	G	H <sub>m</sub>	H				GRATE SIZES		CONCRETE (Cu. Yds.)			SCODDING (Sq. Yds.)						
										Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Standard Weight Pipe	Extra Strong Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe		
12"	18"	3'-10"	2.36'	3.05'	3.42'	3.03'	5'	1.50'	2.0'	4.82'	7.75'	10.58'	13.42'	1.21'											
14"	23"	3'-4"	2.44'	3.75'	4.09'	3.70'	6'	1.90'	2.3'	5.38'	8.71'	12.04'	15.35'	1.23'											
19"	30"	4'-0"	2.62'	4.47'	4.89'	4.35'	8'	2.37'	2.8'	6.04'	10.04'	14.04'	18.04'	1.27'	36"										
24"	38"	5'-0"	2.79'	5.18'	5.67'	5.01'	10'	2.85'	3.3'	6.79'	11.79'	16.79'	21.79'	1.31'	36"	36"									
29"	45"	5'-11"	3.05'	6.00'	6.50'	5.64'	12'	3.19'	3.3'	7.50'	13.42'	19.33'	25.25'	1.35'	36"	36"									
34"	53"	7'-0"	3.22'	6.82'	7.34'	6.20'	13'	3.57'	3.3'	8.25'	15.25'	22.15'	29.05'	1.42'	36"	36"									
38"	60"	7'-10"	3.39'	7.59'	8.14'	6.70'	15'	3.95'	3.3'	9.02'	16.75'	24.58'	32.42'	1.48'	48"										
43"	68"	8'-10"	3.56'	8.37'	8.95'	7.40'	17'	4.32'	3.6'	9.82'	18.58'	27.50'	36.82'	1.54'	48"	48"									
48"	76"	9'-11"	3.73'	9.15'	9.75'	8.10'	19'	4.69'	4.0'	10.62'	20.33'	30.82'	40.17'	1.58'	48"	48"									
53"	83"	10'-8"	3.90'	9.92'	10.54'	8.80'	20'	5.07'	4.3'	11.42'	22.15'	33.82'	43.08'	1.63'	60"										
58"	91"	11'-8"	4.08'	10.70'	11.34'	9.50'	22'	5.45'	4.6'	12.22'	24.00'	35.75'	46.00'	1.68'	60"	60"									

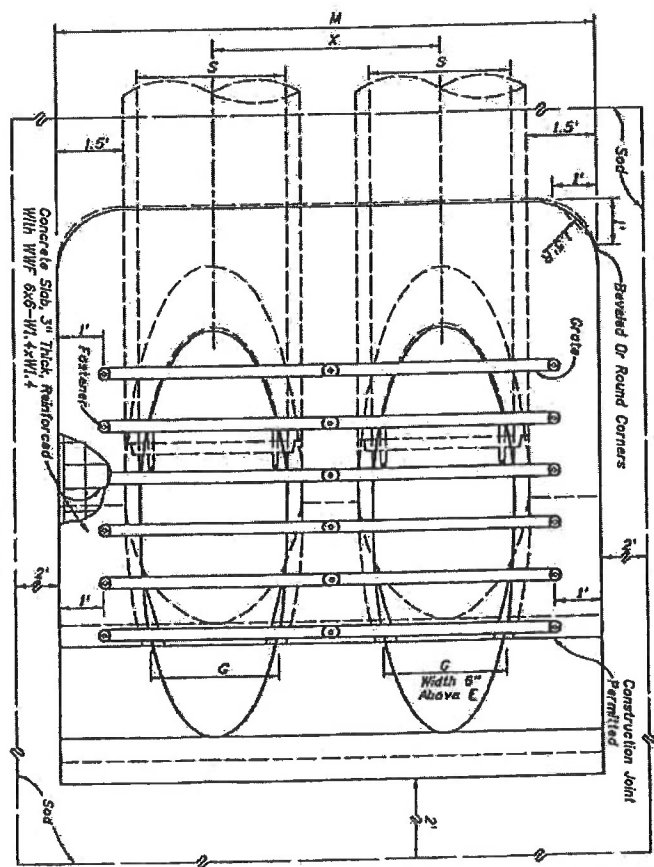
\*Values shown for estimating pipe are for information only.



TOP VIEW-SINGLE PIPE



SECTION



TOP VIEW-MULTIPLE PIPE

NOTE: See Sheets 6 and 7 for details and general notes.

\*Slope: To Major Axis For Pipes 24" x 38" And Smaller. 1:2 For Pipes 29" x 45" And Larger.

SINGLE AND MULTIPLE ELLIPTICAL CONCRETE PIPE

SIDE DRAIN MITERED END SECTION

2010 FDOT Design Standards

Sheet No. 4 of 7

273

Drain Size	s	n	L	Lo
CONCRETE PIPE (ROUND)				
15"	3	4	4'-0"	4'-11"
18"	4	5	5'-0"	5'-11"
24"	6	7	7'-0"	8'-3"
30"	9	10	11'-0"	11'-11"
36"	11	12	13'-0"	14'-3"
42"	13	14	15'-0"	16'-3"
48"	15	16	17'-0"	18'-3"
54"	17	18	19'-0"	20'-3"
60"	19	20	21'-0"	22'-3"

Drain Size	s	n	L	Lo
ELLIPTICAL CONCRETE PIPE				
14"x18"	2	3	2'-10"	3'-0"
14"x23"	3	4	3'-0"	3'-11"
18"x23"	4	5	3'-2"	3'-11"
18"x30"	5	6	3'-4"	3'-11"
24"x30"	7	8	4'-0"	4'-11"
24"x36"	8	9	4'-2"	4'-11"
30"x36"	10	11	4'-10"	5'-11"
36"x36"	11	12	5'-0"	5'-11"
42"x36"	13	14	5'-8"	6'-3"
48"x36"	15	16	6'-0"	6'-11"
54"x36"	17	18	6'-6"	7'-11"
60"x36"	19	20	7'-0"	7'-11"

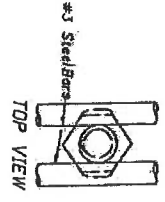
Drain Size	s	n	L	Lo
CONCRETE PIPE (ROUND)				
15"	3	4	4'-0"	4'-11"
18"	4	5	5'-0"	5'-11"
24"	6	7	7'-0"	8'-3"
30"	9	10	11'-0"	11'-11"
36"	11	12	13'-0"	14'-3"
42"	13	14	15'-0"	16'-3"
48"	15	16	17'-0"	18'-3"
54"	17	18	19'-0"	20'-3"
60"	19	20	21'-0"	22'-3"

Drain Size	s	n	L	Lo
CONCRETE PIPE (ROUND)				
15"	3	4	4'-0"	4'-11"
18"	4	5	5'-0"	5'-11"
24"	6	7	7'-0"	8'-3"
30"	9	10	11'-0"	11'-11"
36"	11	12	13'-0"	14'-3"
42"	13	14	15'-0"	16'-3"
48"	15	16	17'-0"	18'-3"
54"	17	18	19'-0"	20'-3"
60"	19	20	21'-0"	22'-3"

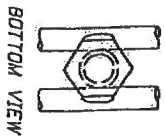
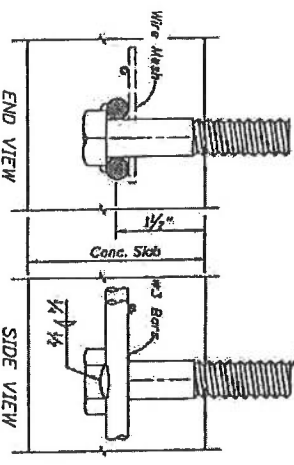
Drain Size	1/2" Bolt Length
24"	5 1/2"
30"	6"
36"	6 1/2"
42"	7"

Note: 3/8" x 3" bolts are standard for all grate fasteners, except when the contractor elects to use the slotted upper holes for the intermediate fasteners on multiple drain pipes, which will require the following bolt lengths:

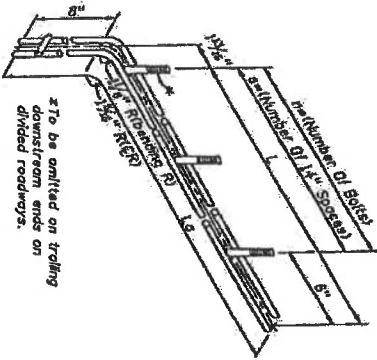
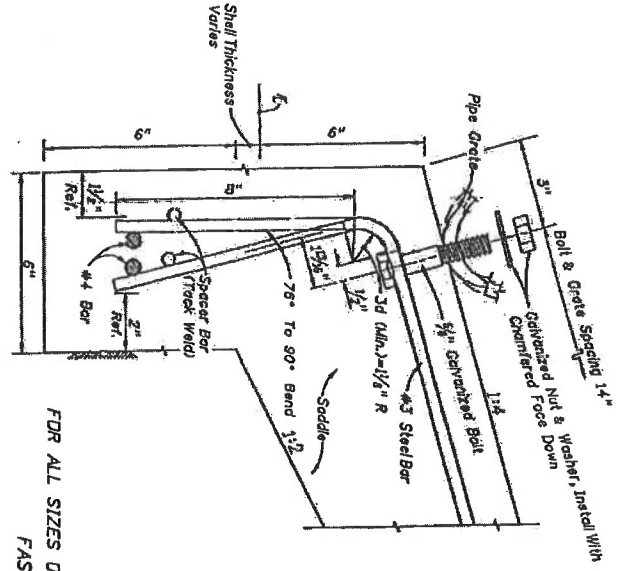
\*\* To be used only when grates are called for in the plans.  
 \*\*\* 1974 ASHTO Pipe Arch Sizes.



3/8" Galvanized Bolt Hex Head Or Square Head Bolt May Be Used, Only Hex Nut To Be Used.



The specified weld shall be made when the fastener unit is subject to repeated loads and repeated bending. Test welds are permitted for local or job site fabrication. Galvanizing over welded surface not required.



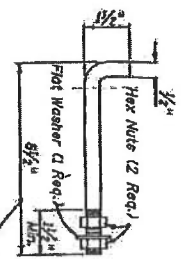
FOR ALL SIZES OF SINGLE AND MULTIPLE DRAIN PIPE FASTENER UNIT

DETAILS FOR CONCRETE & CORRUGATED METAL PIPE

2010 FDOT Design Standards

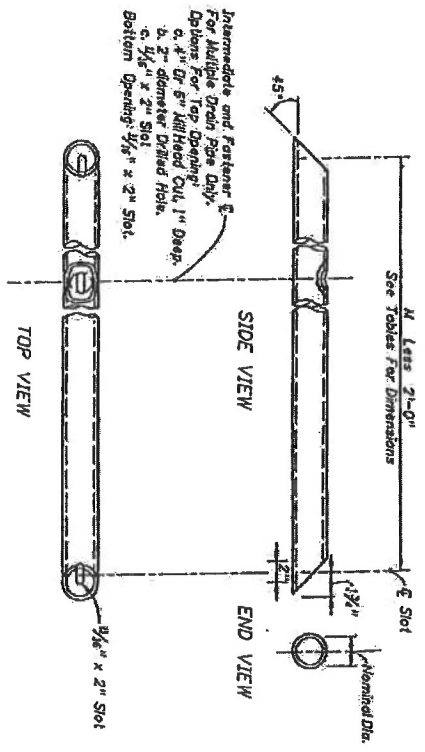
SIDE DRAIN MITERED END SECTION

Sheet No. 5 of 7  
 213



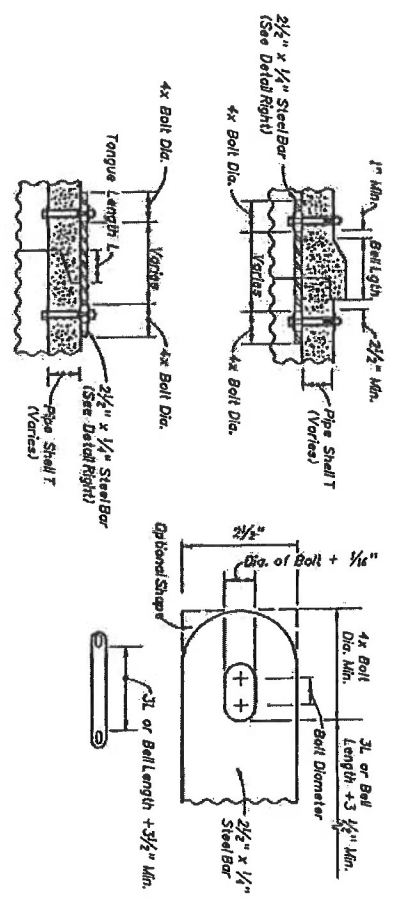
**Notes:**  
 Anchors required for CUP only.  
 Anchor, washer and nut to be galvanized steel.  
 Bolt diameter shall be 1/2" and shall be centered in concrete slab.  
 Drill diameter shall be 3/8" and shall be spaced after bending.  
 Anchor shall be placed in the center of the distance between four (4) corrugations.  
 From the center of the outside crest of corrugation.  
 Flat washer to be placed on inside end of pipe.  
 Holes in the metal and pipe are to be drilled or punched burning not permitted.

**ANCHOR DETAIL**



**FOR SINGLE & MULTIPLE DRAIN PIPE GRATE DETAIL**

See General/Notes, Sheet 7.



Always bolts, nuts and washers are to be galvanized steel.  
 Bolt diameter shall be 1/2" for 15" to 36" pipe and 3/4" for 42" to 60" pipe.  
 Two connectors required per joint, located 60° right and left of bottom center of pipe.  
 Bolt holes in pipe shall be to be drilled.

**CONCRETE PIPE CONNECTOR DETAIL**

**DETAILS FOR CONCRETE & CORRUGATED METAL PIPE**

	2010 FDOT Design Standards	
	Date: 00 Sheet No. 8 of 7	Project No. 213

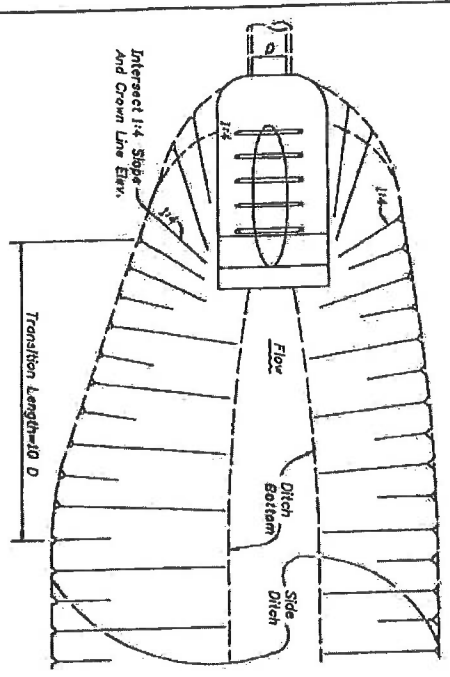


GENERAL NOTES

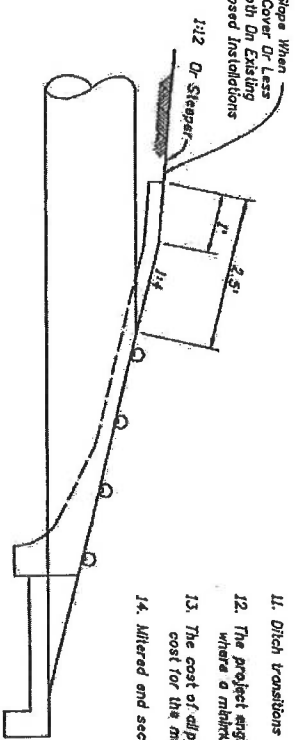
1. Unless otherwise designated in the plans, concrete pipe mitered end sections may be used with any type of side drain pipe. Corrugated steel pipe mitered end sections may be used with any type of side drain pipe except galvanized pipe. In all instances, mitered end sections shall be constructed with five pipe or concrete pipe. When the mitered end section pipe is determined to the side drain pipe a concrete joint shall be constructed in accordance with Index No. 260.
2. Corrugated polyethylene pipe (HDPE) and polyvinyl-chloride pipe (PVC) for side drain applications shall utilize either corrugated metal or concrete mitered end sections (METS). When used in conjunction with concrete mitered end sections, the mitered end sections shall be constructed with concrete mitered end sections approved by the State Drainage Engineer. When used in conjunction with a concrete (METS), connection shall be by concrete joint constructed in accordance with Index No. 260.
3. Concrete pipe used in the assembly of mitered end sections shall be of selective lengths to avoid excessive connections.
4. Corrugated metal pipe galvanized that is damaged during bawling and perforating for mitered end section shall be repaired.
5. That portion of corrugated metal pipe in direct contact with the concrete slab and extending 12" beyond shall be bitumastone coated prior to placing of the concrete.
6. When existing multiple side drain pipes are spaced other than the dimensions shown in this detail, or have nonparallel axes, or have non-uniform sections, the mitered end sections will be constructed with single pipe mitered end sections or cast-in-place concrete mitered end sections as directed by the Engineer; however, mitered end sections will be paid for each based on each independent pipe end.
7. In addition to the requirements of Section 430-4, side drain culverts shall comply with the cover requirements shown on Index No. 205.
8. The reinforced concrete slab shall be constructed for all sizes of side drain pipe and cast in place with Class NS concrete.
9. Round pipe size 30" or greater, pipe-on-pipe size 35"x24" or greater and all other pipe 19"x20" or greater shall be grouted unless otherwise specified in the plans. Smaller sizes of pipe shall be grouted only when called for in plans. The lower grates on leading downstream ends on divided highways shall be omitted.
10. Grates are to be fabricated from steel ASTM A53, Grade B, pipe. The lower grates on all traffic approaches ends shall be Schedule 40 and all remaining grates shall be Schedule 40. Grates shall be cast in place with concrete. Grates shall be fabricated from galvanized pipe, with base metal exposed during fabrication, repair and replacement in Section 432. Standard Specifications or fabricated from black pipe end hot dip galvanized after fabrication in accordance with ASTM A123. Grates subject to salt water or highly corrosive environment shall be hot dip galvanized after fabrication in accordance with ASTM A123.
11. Ditch transitions shall be used on all grades in excess of 3% as directed by the Engineer.
12. The project engineer shall contact the District Drainage Engineer for possible alternate treatment prior to constructing side drain mitered end sections where a minimum spacing of 30' will not result between the toe points of the mitered end sections.
13. The cost of all pipes, grates, fasteners, reinforcing connectors, anchors, concrete, sealants, joints and coupling bands shall be included in the cost for the mitered end section. Scaffolding shall be paid for separately under the contract unit price for Performance TURF, ST.
14. Mitered end sections shall be paid for under the contract unit price for Mitered End Section (SED), Ea., based on each independent pipe end.

DESIGN NOTES

1. In all hydraulic locations, grates shall not be used unless the design engineer has been evaluated by the drainage engineer and appropriate adjustments made. Ditch grates in excess of 3% or pipe with less than 1.5' of cover and grades in excess of 1% will require such an evaluation (General Note 9).
2. The design engineer shall determine highly corrosive locations and specify in the plans when the grates shall be hot-dip galvanized after fabrication (General Note 10).
3. The design engineer shall determine and designate in the plans which alternate types of mitered end section will not be permitted. The restriction shall be based on exposure or structural requirements.



DITCH TRANSITION



PERMISSIBLE PAVEMENT MODIFICATION

NOTES & INFORMATION

2010 FDOT Design Standards



SIDE DRAIN MITERED END SECTION

Scale	Sheet No.
07/01/08	7 of 7
Index No.	
273	

3. *Filing of Building Plans.* The Building Official shall maintain a record of the actual, "as built" elevation or flood-proofing of all buildings constructed after flood management review.
4. *Coordinating Review Functions.* Coordinate the review with other permitting agencies, if necessary.

**Section 1-8.13. Permit application required.**

A permit application and fee shall be required for the installation of culverts and/or driveways within the right-of-way. The application is attached hereto and is made an integral part of this ordinance.

No work shall be performed within the right-of-way (including temporary installations) before a permit has been granted. A permit will be granted only for those culverts and/or driveways to be constructed under this application.

A separate permit application and fee will be required for any future culverts and/or driveways. A temporary culvert may be installed after the applicant has been issued a culvert permit. A separate permit is not required for a temporary culvert but shall comply with the same hydraulic requirements as the final culvert in both flow capacity and elevation.

Any project proposed within Malabar that requires traversing Town right-of-way for access will require review by the Town Engineer to determine if a culvert is required.

If the culvert installation is a stand alone application, there is a ninety-day time limit to complete each project after a permit is issued. Time extensions may be considered when reasons are given in writing to the town prior to the expiration of the initial ninety-day period.

If the culvert is being placed in conjunction with a building project, the culvert permit will remain valid as long as a valid building permit is held for the building, but said culvert must be completed prior to issuance of a Certificate of Occupancy for the building.

But in no case shall a property be accessed without having been issued a permit and at least a temporary culvert of the correct size placed in the swale or ditch.  
(Ord. No. 03-03, § 2, 6-2-03)

**Section 1-8.14. Application requirements.**

In addition to the information required on the attached application, the applicant is required to submit a detailed survey with a sketch depicting the following:

- A. Existing elevations referenced to 1929 NGVD (citing benchmark used) along the existing ditch; at inverts of nearest upstream and downstream culverts;
- B. Center line and edge of roadway along the subject property;
- C. Distance from proposed pipe to property lines and edge of roadways;
- D. Width of proposed driveway at property line, at the proposed culvert and edge of roadway;

- E. Proposed driveway flares (either three-foot x eight-foot or five-foot x ten-foot);
- F. Length of proposed pipe. Not having an endwall is not an option.

G. Proposed type of endwall treatment. All endwalls for pipe culverts where the pipe diameter is less than thirty (30) inches located in residential areas and located on lanes and/or minor and major collector roadways shall be mitered and comply with the 2008 FDOT Design Standards Index 273 and turnouts per 2008 FDOT Index 515.  
(Ord. No. 03-03, § 2, 6-2-03; Ord. No. 09-21, § 1, 5-4-09)

#### **Section 1-8.15. Design requirements.**

The permittee shall be required to either seed and mulch or sod the swale after completion of the proposed work. Any disturbance of areas within the right-of-way shall be restored to existing or better conditions. This includes permanent vegetative cover and compaction. There shall be no other improvements, except as permitted within the road right-of-way. Walls, fences or any other embellishments shall not be permitted within the road or drainage right-of-way. embellishments belong on private property.

The permittee shall be required to contact all applicable utility providers to locate their underground and above ground utility lines, facilities or pipes within the project area, and take necessary precautions to protect such property before construction begins.

The permittee shall use proper erosion and sedimentation control per the latest Florida Department of Transportation Index No. 102 and 103 as applicable.

The permittee shall remove all construction related debris, including but not limited to, trees, roots and brush from the right-of-way and dispose of them accordingly.  
(Ord. No. 03-03, § 2, 6-2-03)

#### **Section 1-8.16. Construction.**

Where a driveway meets an existing paved roadway, the driveway shall be paved from the edge of the roadway to the property line a minimum distance of five (5) feet with a minimum width of twelve (12) feet.

Driveways for commercial use shall be designed appropriately to meet the use and conditions of the site and shall comply with the approved site plan per section 1-7.

Where a concrete driveway meets an existing paved roadway, a twelve-inch wide by twelve-inch deep footer shall be used at the roadway.

In cases where a concrete driveway is to extend to an existing paved roadway, that portion of the driveway from the property line to the edge of the road pavement shall be a minimum of six (6) inches deep.  
(Ord. No. 03-03, § 2, 6-2-03)

**Section 1-8.17. Conditions.**

The permittee shall provide a survey of the constructed inverts and location of the new structures and other required improvements prior to town approval of the continuation of work. If endwalls are constructed prior to verification of inverts of the culvert, the permittee continues the work at their own risk.

The permittee shall notify the Town at least forty-eight (48) hours prior to the placement of any concrete improvement within the right-of-way so the town may inspect such work.

The permit shall be for the limited purpose of installation, placement and maintenance of the improvements specified in the application, and does not convey any other right, title or interest to the permittee in the subject right-of-way property.

The permittee is responsible for any other permits that may be required from other agencies having jurisdiction over the improvements. Issuance of the permit does not relieve the applicant of liability for trespass or damage on private property.

The permittee shall be responsible to use all reasonable care to assure that pedestrians and the traveling public are not unreasonably inconvenienced or endangered by the proposed construction activities, including the properties of reflector barriers, warning signals, or flag as per the latest edition of the Manual of Uniform Traffic Control Devices and the Florida Department of Transportation Roadway and Traffic Design Standards.  
(Ord. No. 03-03, § 2, 6-2-03)

**Section 1-8.18. Maintenance and indemnity bond requirements.**

The permittee shall be responsible for all maintenance, replacement or removal of any right-of-way improvements authorized by this permit.

The permittee shall hold harmless, the Town, its officers, employees, agents, council members, engineers for any damages, claims, causes of action, or losses whether for personal injury, loss of life, or property damage, arising from the actions or omissions of the permittee, its officers, agents, or employees associated with the placement, maintenance or removal of installations authorized by this permit.

Furthermore, the permittee may be required to obtain a bond equal to one hundred ten (110) percent of the project cost; to be determined on an application by application basis at the sole discretion of the Town Engineer.  
(Ord. No. 03-03, § 2, 6-2-03)

**Section 1-8.19. Culvert removal/replacement.**

The following shall apply to the removal or replacement of an existing culvert:

- A. In the event that it is determined by the Town that a culvert shall be in disrepair, or is a danger to the public health, safety and welfare, the land owner utilizing the culvert for access to his/her property, shall remove and replace the said culvert at their expense and such replacement culvert shall be in accordance with the standards in

existence at the time the said culvert is replaced. Upon notification by the Town to the land owner, the owner shall apply for a permit from the Town within thirty (30) days and complete said work within thirty (30) days of the issuance of a new permit. The land owner may request a thirty-day extension, in writing, for good cause. If the land owner has not completed the work within ninety (90) days of notification by the Town, the Town may do the work and bill the owner.

- B. If a culvert shall need to be removed and replaced as a result of a Town initiated public project then the Town shall be required to replace the said culvert at the cost of the Town. Under no circumstances, however, shall the Town be responsible to repair, replace or compensate a land owner for any improvements or embellishments made in the public right-of-way which are removed as a result of a culvert replacement project.
  - C. If the Town decides that an otherwise functioning culvert must be upgraded to current standards then the Town shall pay all costs associated with the upgrade, however, the Town shall not be responsible to repair, replace or compensate a land owner for any improvements or embellishments made in the public right-of-way which are removed as a result of culvert replacement project.
- (Ord. No. 03-03, § 2, 6-2-03)

ORDINANCE NO. 2009-21

AN ORDINANCE OF THE TOWN OF MALABAR, BREVARD COUNTY, FLORIDA; AMENDING ARTICLE VIII OF THE MALABAR LAND DEVELOPMENT CODE; AMENDING SECTION 1-8.14.G. REQUIRING MITERED ENDWALLS IN RESIDENTIAL INSTALLATIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS; PROVIDING AN EFFECTIVE DATE.

WHEREAS, In order to improve the drainage structures maintenance process and increase conformity with the requirements of the NPDES permit the Town Council desires to provide minimum requirements for endwalls when culvert pipes are newly installed or replaced.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF MALABAR, BREVARD COUNTY, FLORIDA, as follows:

**Section 1.** Section 1-8.14.G of Article VIII of the Land Development Code of the Town is hereby amended in full to read as follows:

"G. Proposed type of endwall treatment. All endwalls for pipe culverts where the pipe diameter is less than 30 inches located in residential areas and located on lanes and/or minor and major collector roadways shall be mitered and comply with the 2008 FDOT Design Standards Index 273 and turnouts per 2008 FDOT Index 515.

**Section 2.** Severability. In the event a court of competent jurisdiction shall hold or determine that any part of the this ordinance is invalid or unconstitutional, the remainder of the is Ordinance shall not be effected and it shall be presumed that the Town Council, Town of Malabar did not intend to enact such invalid or unconstitutional revision. It shall further be assumed that the Town Council would have enacted the remainder of this Ordinance without said invalid and unconstitutional revision, thereby causing said remainder to remain in full force and effect.

**Section 3.** Conflict. All ordinances or resolutions or part of ordinances or resolutions in conflict herewith are hereby repealed.

**Section 4.** This Ordinance shall become effective immediately upon its adoption.

The foregoing Ordinance was moved for adoption by Council member Rivet. The motion was seconded by Council member Dezman and, upon being put to a vote, the vote was as follows:

Council Member Nancy Borton	<u>Aye</u>
Council Member Brian Vail	<u>Aye</u>
Council Member Steve Rivet	<u>Aye</u>
Council Member Jeffrey (Jeff) McKnight	<u>Aye</u>
Council Member Patricia (Pat) Dezman	<u>Aye</u>

Passed and adopted by the Town Council, Town of Malabar, Brevard County, Florida this 4th day of May, 2009.

BY:

TOWN OF MALABAR

Thomas Eschenberg  
Mayor Thomas M. Eschenberg, Chair

First Reading: 04/06/09  
Second Reading: 05/04/09

ATTEST:

Debby K. Franklin  
Debby K. Franklin  
Town Clerk/Treasurer

APPROVED as to form and content:

Karl Bohne  
Karl W. Bohne, Jr.  
Town Attorney


**Section 1-5.21. Mobile home on property used for churches or schools.**

A mobile home may be an accessory use on any parcel on which the principal use is a church or a school. Any such mobile home shall be used exclusively as a single-family residence for a caretaker or security guard serving the principal institutional use on the premises.

**Section 1-5.22. Land excavation or fill.**

No site work which redirects and/or increases or reduces off-site natural drainage or runoff to or from a site shall be undertaken without prior approval by the Town Engineer in order to assure no adverse impacts will occur on adjacent lands and to assure appropriate restoration of the land. The Code provides regulations governing such activities. See Article VII, Site Plan Design and Article VIII, Surface Water Management.

(Ord. No. 91-1, 3-19-91)

**Section 1-5.23. Construction of driveways, swales, and other improvements affecting drainage.**

The design of all drainage provisions to new or existing driveways or other elements of the circulation system potentially impacting drainage shall be approved by the Town Engineer prior to commencement of construction or excavation activity. Review by the Town Engineer is necessary in order to assure that: (1) new driveways and other elements of the circulation system provide adequate drainage, swales, ditches or similar storm water channels and; (2) improvements to existing driveways or other elements of the circulation system are designed to protect and/or enhance existing drainageways, or needed drainageways, as deemed appropriate by the Town Engineer. Driveways are encouraged to be paved and culverts shall be designed to meet accepted engineering standards. The Town Engineer shall administer the provisions of this section based on generally accepted engineering principles and practices.

Cross references—Buildings and building regulations, ch. 6; flood damage prevention, ch. 9.

**Section 1-5.24. Model homes.**

Within the RR-65, RS-21, RS-15, RS-10, RM-4, RM-6, and R-MH districts, model homes shall be regulated through the issuance of a model home permit. The permit shall be issued for a period not to exceed one (1) year. The Town Council may renew said permit upon application, provided that the model home has been constructed and operated in accordance with this ordinance.

1. *Notification of Adjacent Property Owners.* Upon application for a model home permit, the applicant shall inform the Town Clerk of the names and addresses of all property owners who own property within a one hundred and fifty (150) foot radius of the site of the proposed model as shown on the most recent Brevard County Tax Roll. The Town Clerk shall notify each property owner on said list of the pending application and the date, time and location when the Town Council shall consider said application. The Clerk shall make every effort to mail said notices at least seven (7) days





Town of Malabar  
Building Department  
2725 Malabar Road  
Malabar, FL 32950  
321-727-7764 – Telephone  
321-727-9997 – Fax  
[www.TownOfMalabar.org](http://www.TownOfMalabar.org)

# **Land Clearing & Tree Removal Permit**

# **Land Fill Permit Applications**



Building Department  
2725 Malabar Road  
Malabar, Florida 32950-4427  
321-727-7764 – Telephone  
321-727-9997 – FAX

### NOTICE

Dear Land Clearing Applicant,

Please see attached application for Land Clearing. You will also need to submit with the application the following documentation:

- A site plan showing areas to be cleared.
- Wetland Delineation which is obtained from The Florida Department of Environmental Protection. (Form attached to Application)

If you will be excavating and/or adding Land Fill to the property you will need to provide the following:

- Land Fill Permit Application
- A survey with elevation calculations before and also Post Development. (See Attached Portions of Article VII)
- Complete information on how much Excavation or Fill will be done
- Chapter 6 Section 6-4 (f) Public Right-of-way required (see attached)

If you have any questions you can contact the Building Department at 321-727-7764 x 14.

**Note:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of Brevard County, and there may be additional permits required from other government entities such as Water Management Districts, State Agencies or the Federal Government. It is the applicant's responsibility to secure those permits.

Notice- Land Clear



**APPLICATION FOR LAND CLEARING & TREE REMOVAL PERMIT**

Select Permit:	Applies to	Development Type & Review Criteria	Required for Submittal
Type I <input type="checkbox"/>	Removal of trees five (5) inches dbh and larger in conjunction with any development plan	Concurrent with the applicable development plan process.	Tree location survey identifying tree(s) ten (10) inches dbh and larger and all trees two (2) inches dbh and larger.  Tree plan prepared or approved by a registered landscape architect as authorized by Florida Statutes Chapter 481, as amended.
Type II <input type="checkbox"/>	Removal of trees five (5) inches dbh and larger in conjunction with issuance of any right-of-way use or any driveway connection permit.	Concurrent with the submittal of a right-of-way use or driveway connection permit application:	A sketch identifying the location and general description of tree(s) five (5) inches dbh and larger.  For projects larger than one single-family dwelling, a Tree Location Survey identifying tree(s) five (5) inches dbh and larger shall be submitted.
Type III <input type="checkbox"/>	Removal of any tree five (5) inches dbh and larger in conjunction with the application and issuance of a building permit that was not, as a part of a related development permit	Concurrent with the submittal of a building permit application.  Reasonable effort has been made to minimize tree removal such as design modification or requests for variances where location of the tree(s) prohibits the use of the site for the intended and desired purpose, where the tree is ten (10) inches dbh or larger.	A sketch showing location and a general description of tree(s) five (5) inches dbh and larger.
Type IV	Removal of any tree where a Type I, II, or III permit is not applicable. The tree is ten (10) inches dbh and larger single-family or five (5) inches dbh and larger for non-single family). Or Removal of any designated tree of special significance or emergency tree removal as defines in Section 1-15.14.	Reasonable effort has been made to minimize tree removal such as design modification or requests for variances where location of the tree(s) prohibits the use of the site for the intended and desired purpose.  Proximity for structures.  Thinning. The removal of such tree is beneficial to the growth of other trees on site	A sketch showing location and a general description of tree(s) ten (10) inches dbh and larger single-family or five (5) inches dbh and larger for non-single family).  A tree replanting plan, if applicable.
Type V <input type="checkbox"/>	Required for any use of a motorized and or rotary equipment method to remove underbrush and vegetation less than six (6) feet in height, and not defined as a tree, of unimproved property maintenance	Reasonable effort has been made to minimize the impact of root and soil sediment and the topology of the property for the purpose of clearing: nuisance and overgrown vegetation to maintain or gain access for development activities, reduce a nuisance to abutting property owners and rights-of way, or reduce fire hazards.	Survey of the property. Permit application demonstrating compliance with one (1) or more of the criteria below.  A sketch showing location and a general description of removal of underbrush and vegetation less than six (6) feet in height. This permit does not permit the removal of any trees.



**APPLICATION FOR LAND CLEARING & TREE REMOVAL PERMIT**

**Property & Owner Information**

Township	Range	Section	Subdivision	Block	Parcel	Tract	Lot
Property Owner's Name:							
Property Address:							
Mailing Address:							
Email:						Telephone:	

**Applicant Information (if different from property owner)**

Applicant's Name:							
Mailing Address:							
Email:						Telephone:	

**Contractor Information**

Contractor's Name:							
Mailing Address:							
Email:						Telephone:	
State of FL License # (s):						Expiration:	

**PURPOSE FOR CLEARING AND DESCRIPTION OF WORK**

Clearly describe the planned use of the land and the reason for applying for a clearing permit. Include the type of vegetation that is planned for removal. Submit a survey indicating the area to be cleared. **All protected trees need to be located on the survey. Any trees with a DBH of 5" or greater need to be shown on the survey.** Malabar has a restrictive tree protection ordinance. Mitigation may be required if protected trees are planned for removal. **FINES UP TO \$500.00 PER TREE MAY BE IMPOSED FOR TREE REMOVAL WITHOUT A PERMIT.**

**NO VEGETATION, TREES, BRUSH, OR OTHER DEBRIS MAY BE BURIED ONSITE.**

The method of debris removal must also be clearly indicated:

**Property Type:**

Residential	Commercial:	Zoning Code:	Property Acreage:
Acreage of Project Area:	Tree Removal Count	Total DBH of Tree Removal	

**Notes:**

- (1) A signature of the contractor shall be construed as making the contractor personally liable unless the contractor attaches a written proof of authorization to act on behalf of the applicant.
- (2) All work is subject to final inspection by the Town Manager.
- (3) Permit to be displayed on the job site.
- (4) FDOT Traffic Control is required.
- (5) Approved ingress and egress (access) to the property is required, a culvert permit may be required.
- (6) Applicant is responsible for obtaining permits from other jurisdictional agencies.

Applicant/Contractor Print & Sign	Date
-----------------------------------	------

**Office Use Only – Application & Permit Review:**

Yes	No	Yes	No	Permit #, Authority, Date Issued	Inspection Date, Authority
Complies w/ Access		Soil, Erosion Drainage			



**TOWN OF MALABAR**  
 2725 Malabar Road  
 Malabar, Florida 32950  
 (321) 727-7764  
 building@townofmalabar.org

Office Use Only

**APPLICATION FOR LAND CLEARING & TREE REMOVAL PERMIT**

**MALABAR LAND CLEARING & TREE AFFIDAVIT**

**Property & Owner Information**

Township	Range	Section	Subdivision	Block	Parcel	Tract	Lot
----------	-------	---------	-------------	-------	--------	-------	-----

Property Owner's Name:	
Property Address:	

I/we, \_\_\_\_\_, being first duly sworn depose and say that I/we, am/are the **Owner(s) of the property** described, which is the subject matter of this application; that all of the answers to the questions in said application, and all data and matter attached to and made a part of said application are honest and true to the best of my/our knowledge and belief.

I/we further state that the clearing that we are requesting a permit for will not include any protected tree. Protected trees are all mangroves and trees except the following: Australian Pine, Ear Pod Tree; China Berry; Brazilian Pepper Tree; Melaleuca, Punk or Paper Tree; Chinese Tallow Tree; Air Potatoe; Kudzu Vine; Climbing Fern; African Bowstring Hemp; Castor Bean Plant; Any species found on the Florida Exotic Pest Plant Council's list of Florida's most Invasive Species. Cabbage Palms and Citrus Trees of all varieties shall not be considered to be protected trees, but such trees shall be included in the tree survey.

I/we further state that no cleared debris will be buried. Only clearing and removal of cleared material are covered under this permit. Addition of any FILL WILL REQUIRE SEPARATE PERMITTING.

Applicant/Contractor Print & Sign	Date
-----------------------------------	------

Applicant/Contractor Print & Sign	Date
-----------------------------------	------

STATE OF FLORIDA

COUNTY OF BREVARD

Sworn to and subscribed before me by means of \_\_\_\_\_ physical presence or \_\_\_\_\_ online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, who is personally known to me or produced the following \_\_\_\_\_ as identification.

WITNESS my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public	SEAL
---------------	------

**TOWN OF MALABAR**  
**APPLICATION FOR LAND FILL**

DATE \_\_\_\_\_

Contact information must be included for both the contractor and the property owner. Proof of ownership is required.

OWNER'S NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

APPLICANT'S NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

APPLICANT'S ADDRESS \_\_\_\_\_

CONTRACTOR'S NAME \_\_\_\_\_ TELEPHONE \_\_\_\_\_

CONTRACTOR'S ADDRESS \_\_\_\_\_

LOCATION OF WORK (Street Address) \_\_\_\_\_

Sec: \_\_\_\_\_ Twp: \_\_\_\_\_ Rng: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Sub/Parcel: \_\_\_\_\_

DESCRIPTION OF WORK – Clearly describe the type of fill and the reason for the fill. Include a copy of the survey indicating the area to be filled and how the proposed drainage of the parcel will hold the first one (1") inch stormwater runoff and then be directed to the Malabar drainage system. Silt fence will need to be constructed and maintained during this process until fill is stabilized and inspected.

\_\_\_\_\_  
\_\_\_\_\_

If other jurisdictional agencies require separate permits, it is the applicant's responsibility to acquire them.

Indicate the gross amount of acreage involved: \_\_\_\_\_ acres (\$30 Building Admin Fee + \$50 for first 2 acres or less plus \$10 for each additional acre or portion of acre plus engineering costs.)

Engineering Comments and Fee: \_\_\_\_\_

**Notes:**

- (1) Signed/sealed survey to be submitted with the following information for development projects in Malabar:
  - A. Existing elevations referenced to 1929 NGVD (citing benchmark used) along the existing ditch; at inverts of nearest upstream and downstream culverts.
  - B. Center line and edge of roadway along the subject property.
  - C. Distance from proposed pipe to property lines and edge of roadways.
  - D. Width of proposed driveway at property line, at the proposed culvert and edge of roadway.
  - E. Proposed driveway flares (either 3 feet x 8 feet or 5 feet x 10 feet).
  - F. Length of proposed pipe. Not having an endwall is not an option.
  - G. Proposed type of endwall treatment.
- (2) A signature of the contractor shall be construed as making the contractor personally liable unless the contractor attaches a written proof of authorization to act on behalf of the applicant.
- (3) All work is subject to final inspection by the Town Engineer.
- (4) Permit to be displayed on the job site.
- (5) FDOT Traffic Control is required.
- (6) If a culvert is required to access the property it must be submitted for at this point.
- (7) Applicant is responsible for obtaining permits from other jurisdictional agencies.

\_\_\_\_\_  
Applicant / Contractor

OFFICE USE ONLY:

Complies with Thoroughfare Plan - Yes [ ] No [ ]  
Drainage approved - Yes [ ] No [ ]

Permit Fee, if applicable \$ \_\_\_\_\_

Remarks \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Issuing Officer

\_\_\_\_\_  
ROW Permit #

\_\_\_\_\_  
Date Issued